

Design Guidelines for the Residential Architecture of  
**SPRINGFIELD**



Prepared for  
The City of Springfield, Massachusetts  
by  
Dietz & Company Architects, Inc.



# Springfield Design and Development Guidelines

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## The Value of Good Design

WHAT IS GOOD DESIGN? That question can have many answers depending on who is responding to the question, their experience and their preferences. It is often difficult to answer, but it can also be obvious when you have it and when you don't. Going way back into the history books the first author on architectural design, the Roman author Vitruvius asserted that buildings must exhibit, "Firmitas, Utilitas, Venustas" which translates, "durable, useful, beautiful." These principles are still of value and are a goal in the design of homes for Springfield. A *durable* house should be constructed of materials that are appropriate for the climate and that will last. A home that is *useful* is practical and meets the needs of the users. A home that is *beautiful* is enjoyed by the owner, its neighbors and is a source of pride for the community. Taken together, these values:

- **make it easier for neighbors to accept new development**
- **add market value to a new home at sale**
- **foster resident support for future projects**

There are many design decisions to be made in crafting a new home. This book of design guidelines takes five typical house styles and makes general recommendations: the layout of the house on a parcel, the proportions of the main structure, the porch, windows & doors, landscape features and style specific building details. What should be promising to builders and homeowners is that many of the recommendations add to the real estate value, without adding significant cost.

For example, a roof pitch that is 8:12 and above not only looks better, but will **extend the life of the shingles; which reduces or cancels the added cost of steeper trusses**. In another example, a concrete walk to the porch steps will not crack along its edges compared to an asphalt walk.

Design also touches on social issues and neighborhood security: a correctly sized front porch can foster interaction between neighbors and add "eyes on the street". The result is a street that feels safe and connected to the community, which is again a "value added" design feature.

What about windows and doors? If the selection of sizes creates proportions that are consistent with the style, then the overall impression is that the design is harmonious in relation to the main structure. Examples of harmonious façade layouts are illustrated in the guidelines. Again, a little attention to the selection and placement of windows and doors can make a big difference in the perceived value of a home. The grounds surrounding a new home can be an integral part of the overall composition or an afterthought: is the front yard a barren patch of dried up turf or is it a self-sustaining landscape of native plants which shades the home and reduces energy costs?

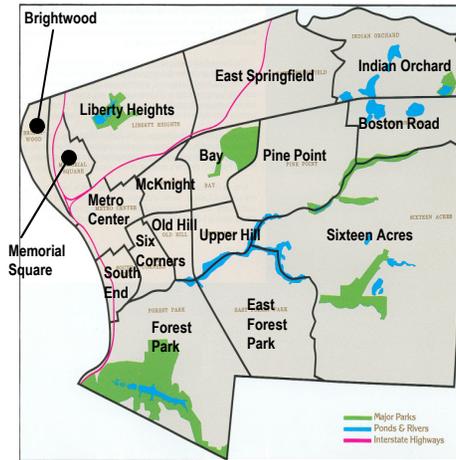
When a new house design incorporates all, if not most of the design recommendations in these guidelines, the chances are that it will 'fit' better in the context of its neighboring houses, the street and in Springfield. If these guidelines are ignored, there is a greater risk that the community may object.

Lastly, design is not always about what a house looks like, although the 'look' of high quality sends signals to realtors and buyers that translates into higher profit potential for the developer/builder. Therefore, design quality makes an indirect contribution towards Springfield's economic growth.





*A well-cared-for, well-composed and highly detailed Victorian home in Springfield fosters a vibrant pedestrian experience for residents. In addition, the high quality of the home's exterior is reflected in the real estate value of the property.*



*Springfield is comprised of seventeen distinct neighborhoods: Bay, Boston Road, Brightwood, East Forest Park, East Springfield, Forest Park, Indian Orchard, Liberty Heights, McKnight, Memorial Square, Metro Center, Old Hill, Pine Point, Six Corners, Sixteen Acres, South End, and Upper Hill.*

## New Settlement in “The City of Homes”



*New multi-family building in Springfield that is out of scale with neighboring homes and does not reflect any architectural elements of lasting value.*

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ACROSS THE SEVENTEEN NEIGHBORHOODS OF SPRINGFIELD, single family and two family houses will be constructed for both new and current residents. The challenge to developers and builders will be in how they address the rich architectural context of Springfield in their new designs. This book of Residential Design and Development Guidelines provides designers and builders with the elements that are typical of Springfield and that will add value to their property.

## Springfield Neighborhoods

Some of these elements include:

- A range of architectural styles and associated details
- Tree-lined streets and front yard landscapes
- Common setbacks
- A variety of front porches
- Garages located behind houses (except for the Cape and Ranch)



## New Settlement in “The City of Homes”

Springfield’s history began in 1636 with the purchase of land on both sides of the Connecticut River from native American inhabitants by William Pynchon. Purchases continued throughout the 1600’s enlarging Springfield’s territory.

During the 1800’s and into the early 1900’s Springfield was a major industrial center with companies that flourished in the manufacture of items such as railway cars, firearms, gasoline pumps, automobiles and motorcycles. During the late 19<sup>th</sup> century, Springfield became known as the “City of Homes” due to the many Victorian mansions and houses inhabited by workers.



Court Square

Springfield, like many other cities, has seen a decline in manufacturing, while suburban lifestyles have gained in popularity. However, today’s changing population has put pressure on existing neighborhoods to build new homes for families, singles and elders.

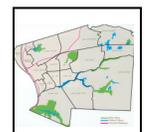
## Springfield Neighborhoods

A common desire for all neighborhood residents should be to maintain design standards and associated property values. New house designs that do not fit the quality or context of Springfield architecture can be improved. The Design Guidelines will assist the home designer to ensure that a new house fits in with its neighbors.

Springfield is in a position to celebrate its rich design traditions. For the design of new homes, 5 prevalent\* styles have been selected that are the focus of the Design Guidelines:



\* Although Springfield has more than 5 styles in its existing neighborhoods, the selection of these 5 is based on the most commonly created in new residential construction.

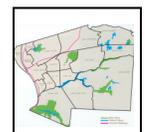


## How to Use this Book

The following series of questions are intended to help guide you as you consider the design of the site, the size of the house and a style selection that will be compatible with neighboring houses. Once you have identified your house style, base your details and patterns on that category as outlined on the following pages of these Design Guidelines.

SITE	HOUSE STYLE	LANDSCAPING (cont.)
1. Determine your zoning, required setbacks, size and height restriction.	1. What are the styles of adjacent houses?	4. Is the material planned for the entry walkway durable (concrete or pavers = yes, asphalt = no)?
2. How will the new house connect to the sidewalk?	2. Do the adjacent houses have a front porch?	5. Do you plan to incorporate landscape light fixtures?
3. If there is a driveway, how will it connect to the street?	3. Do the adjacent houses have a connected garage or detached garage?	6. Do you plan to incorporate safety light fixtures?
4. If there is a garage, can you set it back behind the house and still have a back yard?	4. How many stories are the adjacent houses (typically, Ranch Style houses are only 1-story, Cape houses are 1-1/2 story)?	7. Can you locate the exterior lights in such a way that it does not spill over into the neighboring properties?
5. How much front yard landscaping can you afford?	5. Is the front entry door of adjacent houses centered on the front façade or off-center?	
6. Are there any interesting views from the property that can be incorporated into the layout of rooms and windows?	6. Do the adjacent houses have shutters or no shutters?	
	7. Do the adjacent houses have windows with divided lights (window panes) or not?	
<b>HOUSE SIZE</b>	8. What materials are on the adjacent houses? Brick? Siding?	
1. How many bedrooms and bathrooms are needed?	<b>LANDSCAPING</b>	
2. Are you building a basement that can be converted into living space? If yes, then are you making allowance for required exit stairs and windows?	1. Has a sufficient budget been allocated to complete the front yard landscaping?	
3. How many stories are the adjacent houses?	2. Is the front door entry walk separated from the driveway? There should be a separate walk that connects the sidewalk to the porch.	
4. How wide are the adjacent houses?	3. Does the front yard design incorporate a tree, shrubs, and ground level plantings?	
5. If you are planning to build a front porch, is it deep enough to accommodate a small table and chairs?		

## Springfield Neighborhoods



## The Design Guidelines Concept

THE SPRINGFIELD DESIGN GUIDELINES have been instituted by the Springfield Office of Planning and Economic Development to encourage developers, builders and homeowners of single-family and two-family residences to develop homes that are compatible with Springfield neighborhoods and that will maintain lasting value for future generations.

In order to maintain continuity while incorporating existing architectural styles, the five building styles for new residences will provide a separate identity while fitting with the neighborhood. The Design Guidelines Architectural Section describes the 5 styles. Other sections include a basic site layout, a primer on the correct configuration of details that are common to all types and styles, recommendations for landscaping and links to other useful information.

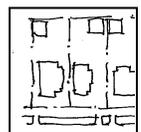
The examples and photographs shown in this pattern book are for illustrative purposes. It is not the intent of this publication to provide the designs for any unit or specific elements within any unit. However, to maintain the integrity and cohesiveness of new developments in existing neighborhoods, many of the guidelines described should be adhered to.

What is often interesting about walking through Springfield's established neighborhoods is the consistency of the neighborhoods and the stimulating effect of seeing a variety of housing styles and types across Springfield. The goal of is to encourage new development to follow this paradigm, so that the neighborhood appears to have grown cohesively over time.

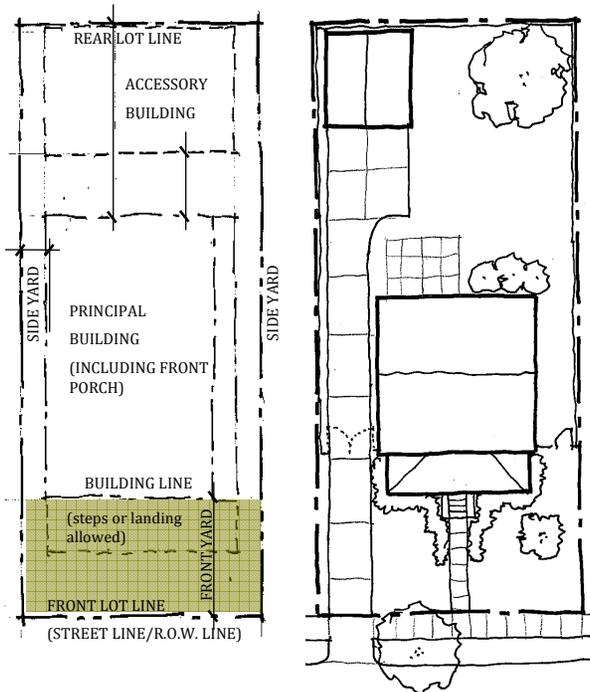
***When development by any one party, entity or group exceeds two units, the styles should be related from house to house so that new homes are not drastically different than the existing homes.***



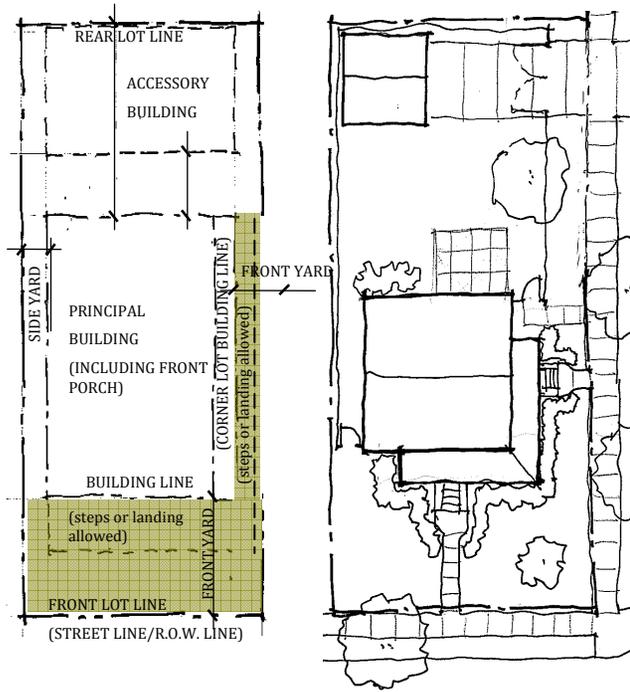
*Building styles should be generally consistent with neighboring homes*



# Springfield Pattern Book



Sample Interior Lot Layout



Sample Corner Lot Layout

## Lot Guidelines

Single-family and two-family sites are designed to encourage sociability at the front and a more private realm toward the rear.

**Building Line:** A line parallel to the property line that is setback a required distance from the Front Lot Line. At corner lots, the building line parallel to the longitudinal property line. For infill projects, the Front Yard Setback of neighboring houses should be used.

**Front Yard:** The area in front of the Building Line that includes steps or landings, but not porches.

The steps leading up to a raised porch may encroach into the front yard. Buildings on corner lots are considered to have two Building Lines. The shaded area represents the front yard landscaping required by zoning.

**Foundation Height:** In general, the top of the foundation wall for at least the front 1/3 of the ground floor level should be the average height of neighboring houses. If there are conflicts with Massachusetts Architectural Access Board, the code shall govern.

**House Height:** In general, the house height should be an average of the neighboring houses, but it should never be more than 1/2 story different.

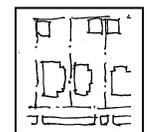
### Interior Lot

- House Width:** House style/Zoning maximum width allowed
- House Height:** House style/Zoning maximum allowed
- Front Yard:** Per Zoning
- Front Porch:** 8' typical/Minimum Zoning setback
- Side Yard:** Per Zoning
- Garage location:** Per Zoning
- Garage Orientation:** Garage vehicle door should face the street
- Front Fences:** None
- Side Fences:** 6 feet maximum
- Rear Fences:** 6 feet maximum
- Off Street Parking:** Per Zoning

### Corner Lot

- House Width:** House style/zoning maximum width allowed
- House Height:** House style/Zoning maximum allowed
- Front Yard:** Per Zoning
- Front Porch:** 8' typical/Minimum Zoning setback
- Side Yard:** Per Zoning (corner lots are considered to have two front yards)
- Garage location:** Per Zoning
- Garage Orientation:** Garage vehicle door should face the street
- Front Fences:** None
- Side Fences:** 6 feet maximum
- Rear Fences:** 6 feet maximum
- Off Street Parking:** Per Zoning

## Parcel Guidelines





A symmetrically composed Victorian/Queen Anne with details vividly articulated in a historic color palette.



A new modestly detailed Victorian house with a newly built full front porch.



Victorian Style home in the McKnight Neighborhood



Victorian Style home in the McKnight neighborhood



Victorian Style home in the McKnight neighborhood



Victorians: two family (left) and one family (right)

- 1 Complex roof: gable, sub-gable, potential tower element.
- 2 Upper level shingles, lower level siding.
- 3 Windows and doors are located according to interior need, usually vertical proportioned.
- 4 Porch columns, roof and details are sometimes doubled and derived from classical proportions.

## History and Character

THE VICTORIAN STYLE is a broad category for a number of sub categories such as Empire, Queen Anne, Stick and Shingle. It is a complex looking style, common throughout New England during the industrial age between 1860-1900. Many house components – doors, windows, roofing, and decorative details were mass produced and shipped via railroad throughout the country and can be found on Victorian homes in Springfield.

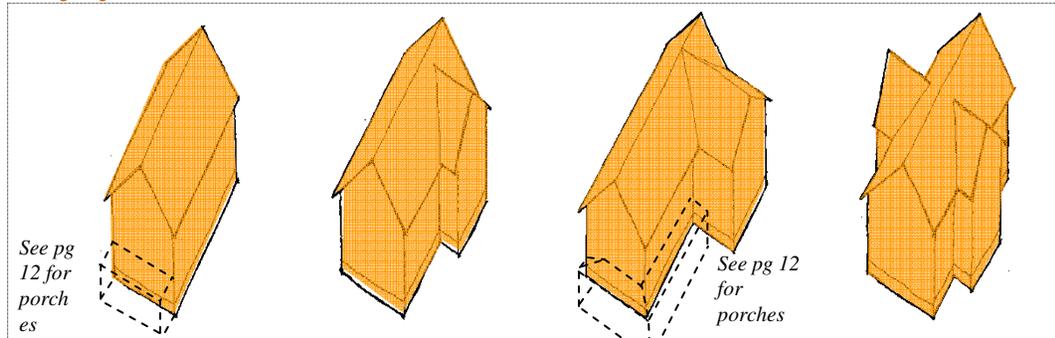
Victorian style homes have multi-textured, multi-colored walls. Details are often freely selected ornamental varieties derived from historic forms. For example, columns might have classical proportions while other details may be more medieval gothic. Gable brackets and post brackets are common.

Typical characteristics of the Victorian Style are as follows: vertically proportioned windows placed according to need over asymmetrical building masses. The main mass may reflect medieval elements, such as towers, massive chimneys and half-timber gables. Decorative horizontal bands of shingles differentiate the first floor from the second floor. Slim proportioned columns and multiple gables are common at the front façade. Porch columns may be grouped and bear on raised porch rail bases. The front door is usually located off center on the front façade. Porch railings usually have spindle balusters. Roof pitch is steep: 12:12 and steeper.



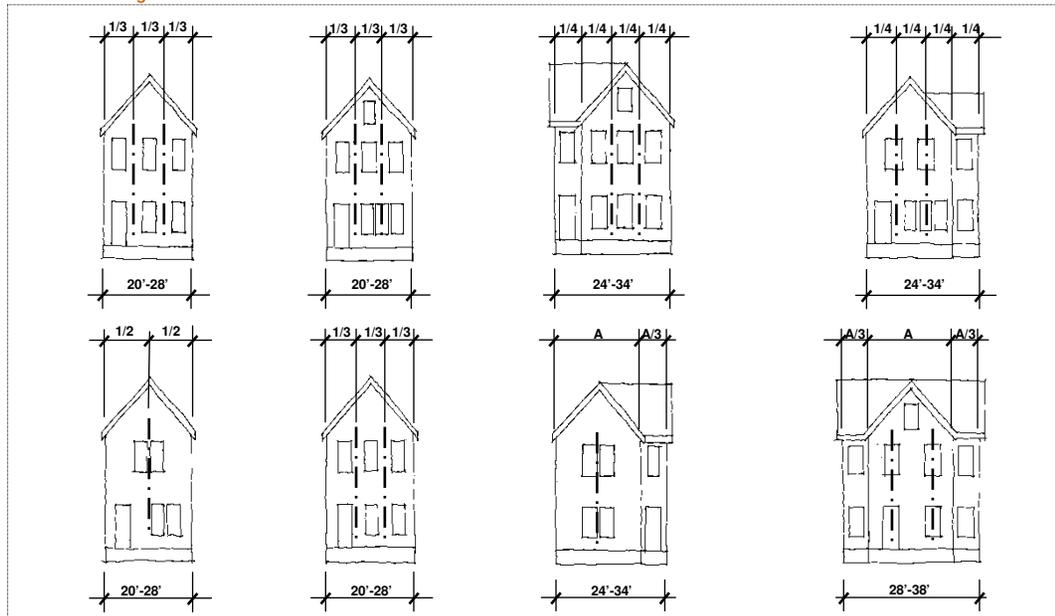
# Victorian

Massing Diagrams



**A** Two-story basic    **B** Two-story basic with bay projection    **C** Two-story basic with wing    **D** Two-story basic with double bay projection

Front Facade Diagrams



Victorian

Massing and Composition

Massing Diagrams

**A Two-story basic**

Simple gable roof with minimum 8:12 pitch. Front porch has a hip roof and may have a gable accent on axis with the front door and stair.

**B Two-story basic with bay projection**

Simple gable roof with 8:12 (min.) pitch. Front porch is a hip roof and may have a gable accent on axis with the front door and stair. Porch may wrap around front façade and extend back to the projecting bay. Two-story porch is an option (see pg 12 for porch recommendations).

**C Two-story basic with wing**

Simple gable roof with 8:12 (min.) pitch. Front porch is hip roof and may have gable accent on axis with the front door and stair. Porch may wrap around front façade and extend back to the projecting wing. Two-story porch allowed only behind the front façade.

**D Two-story basic with double bay projection**

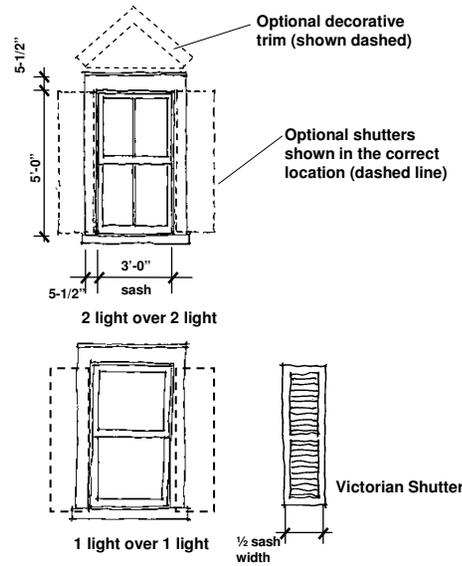
Simple gable roof with 8:12 (min.) pitch. Front porch is hip roof and may have gable accent on axis with the front door and stair. Wrap around porch not recommended.

Façade Composition

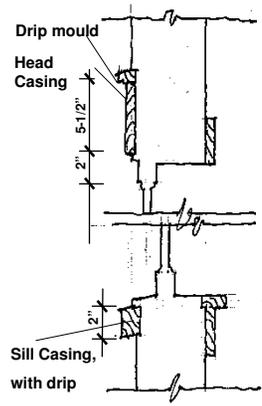
Façade composition is characterized by an asymmetrical composition of gables, windows and doors that are in balance as a whole. Typically, the openings are located according to interior need. Symmetry is used to organize openings for sub-masses on the façade, such as on sub-gables. Other added masses include circular or octagonal corner towers and elaborate 2-story bays with angled corners and a gable cap.



**Standard Windows**



**Typical Window Details**



**Windows and Doors**

**Standard Windows**

Windows are typically vertical in proportion. Window patterns include grilles (muntins) that are 1 over 1, 2 over 2, 6 over 6 and less commonly 6 over 1. Snap-in grilles (muntins) are discouraged. Grilles (muntins) that simulate divided lights are preferred. The double line at the head casing (see sketch) indicates optional dripmold. Another option includes a profiled backband, no greater than 1-1/2" wide at the edge of the jamb and head casings. The sill casing is 1-1/2" to 2" tall and slopes to drain. The sill casing should never have an apron at the bottom.

**Special Windows**

Special windows include bay windows (see sketch) and paired windows. In general the casing principles are the same as for the standard windows.

**Trim**

Windows and doors typically have 5-1/2" jamb casing and head casing. Dripmold at the head, backband at the head and jambs and cap molding at the head are an option.

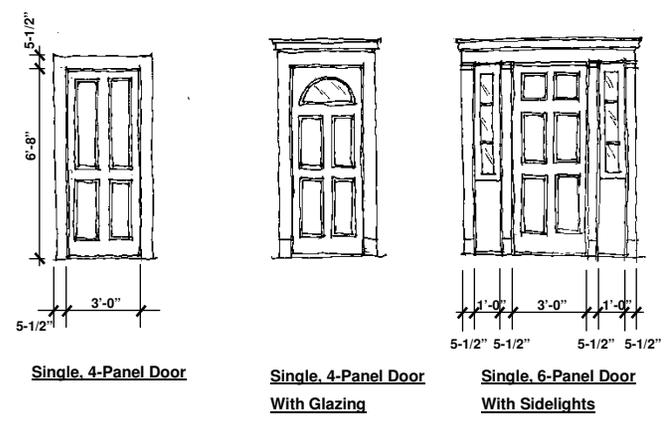
**Standard Doors**

Doors include 4 and 6-panel patterns. Sidelights are an option and would be on both sides. Double entry doors are an option.

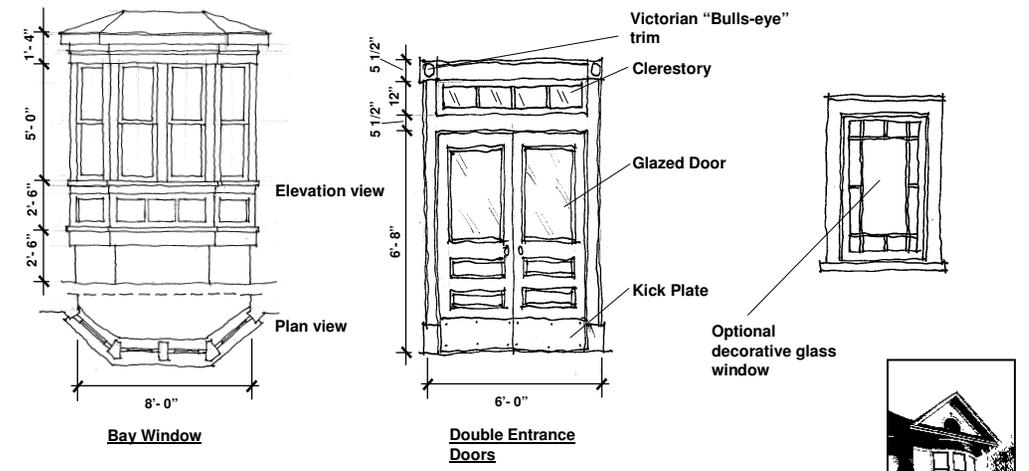
**Shutters**

Shutters are an option. They tend to look more "real" on single windows, since ganged windows are too wide to be completely enclosed. Shutters on Victorian houses are typically louvered, not paneled.

**Standard Doors**



**Special Windows and Doors**



**Victorian**

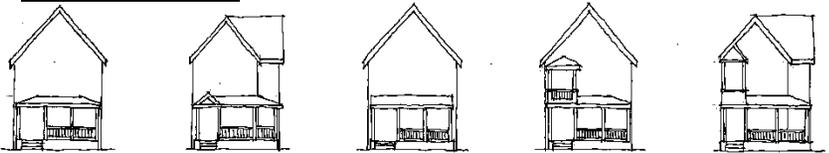


One-Story Porches



Plan View

Front Elevation View

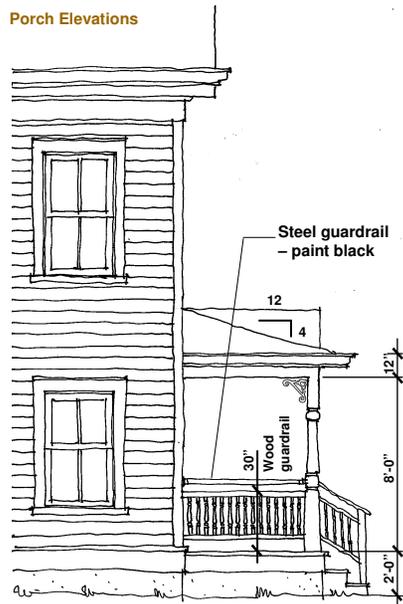


Two-story house with hip front porch. Two-story house with wrap around porch. Two-story house with shed front porch. Two-story house with 2-story full front porch. Two-story house with 2-story wrap around porch.

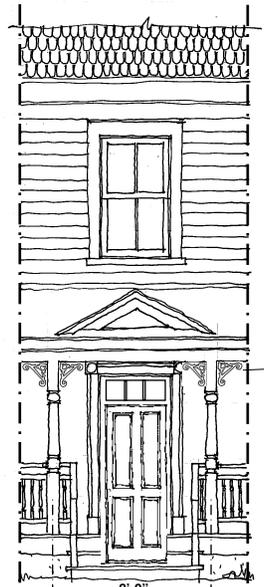
Two-Story Porches



Porch Elevations



Side Elevation View



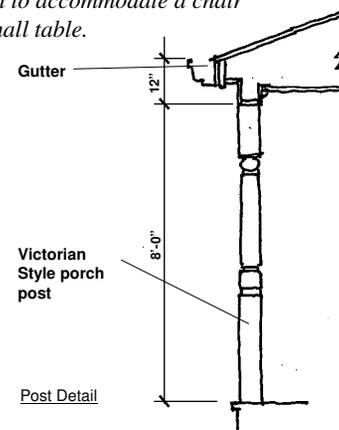
Front Elevation View



Typical full porch with Victorian posts, spindles and gable accent over the stairway



Front portico with a gable facing the street. Note that the porch, though not full front is still large enough to accommodate a chair and small table.



Post Detail

Porches

Victorian porches can be one or two stories with low-slope hip or shed roofs. A gable accent over the stairs or at the top of a second story porch is also an option. Commonly, Victorian posts are the spindle type and may feature “gingerbread” brackets, grillework or lattice. Columns can be 6-10 inch diameter Doric or Tuscan style columns. Handrails can be flat or profiled and balusters can be flat, square or rectangular from dimensional lumber stock. If the house is in the Victorian Style, profiled balusters are preferred. It may be necessary to install a steel guardrail to meet the code while maintaining a 30” high wood guardrail.

Column height is typically 8-9 feet for the first story of a porch. The height of the guardrail is 30” above the porch for porches less than 24” above grade, but never taller than 36” above the porch where allowed by the building code (verify with the building code).

Porch depth is 6 feet minimum and 8 feet maximum. Eight feet is encouraged to allow for a more spacious furniture configuration.

Victorian





*New Craftsman Style homes on Wollaston Street in the Pine Point neighborhood. The variation of details, materials and colors of these craftsman style homes adds architectural value that translates to real-estate value.*



*Craftsman Style Bungalow*

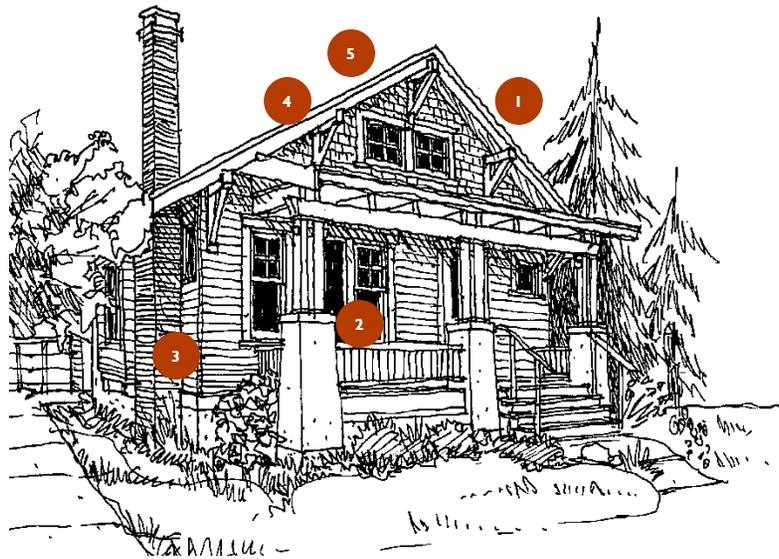


*Craftsman Style house with side facing gable*



*Craftsman Style Two Family House with 2-story porch. Entrances are located on the front and side facades*

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*Typical Craftsman Style Bungalow.*

- |   |   |  |
|---|---|--|
| <p>1 Gable or shed faces the front.</p> <p>2 Porch is large enough for small gatherings</p> | <p>3 More than one material is common, often dividing the main floor from the second or half story above.</p> | <p>4 Trim is not scaled down – it is as wide as a larger home</p> <p>5 1-1/2 story (shown)</p> |
|---|---|--|

## Craftsman

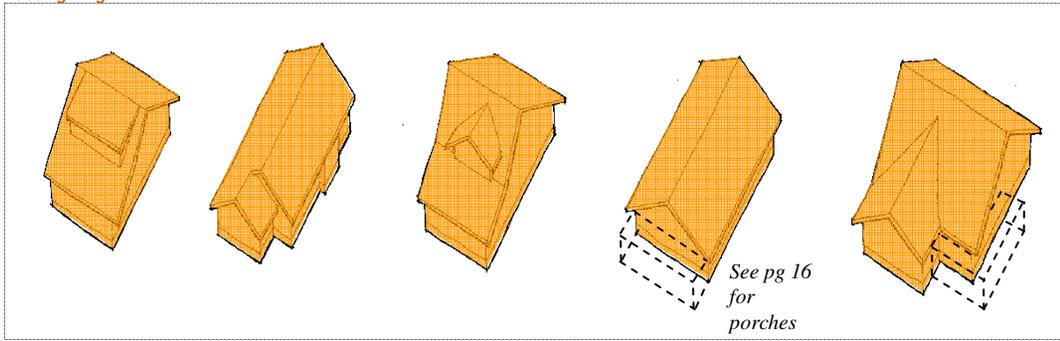
### History and Character

THE CRAFTSMAN STYLE has a simple, rectangular foundation and an economical floor plan. The front porch often serves as an extension of the living spaces, either enclosed or open. On occasion there are side-bay projections and wide dormers. Craftsman bungalows are typically 1, 1-1/2 or 2 stories in height, but may also include a raised first floor. One story Craftsman bungalows are very efficient for the elderly or persons with disabilities since the living spaces are all on one floor.

Characteristics of the Craftsman is as follows: low or medium slope roof, sometimes with a smaller gable over the porch –or alternatively- a shed roof facing the front with a broad dormer for an upper story room; a variety of window sizes with various muntin patterns based on the style. Bungalows are nearly always in the Craftsman Style. Craftsman style homes commonly feature generously sized front porches that provide space for outdoor living. Craftsman details often include wide roof overhangs, exposed raftertails and rustic materials, such as clinker brick, shakes and naturalistic landscapes.

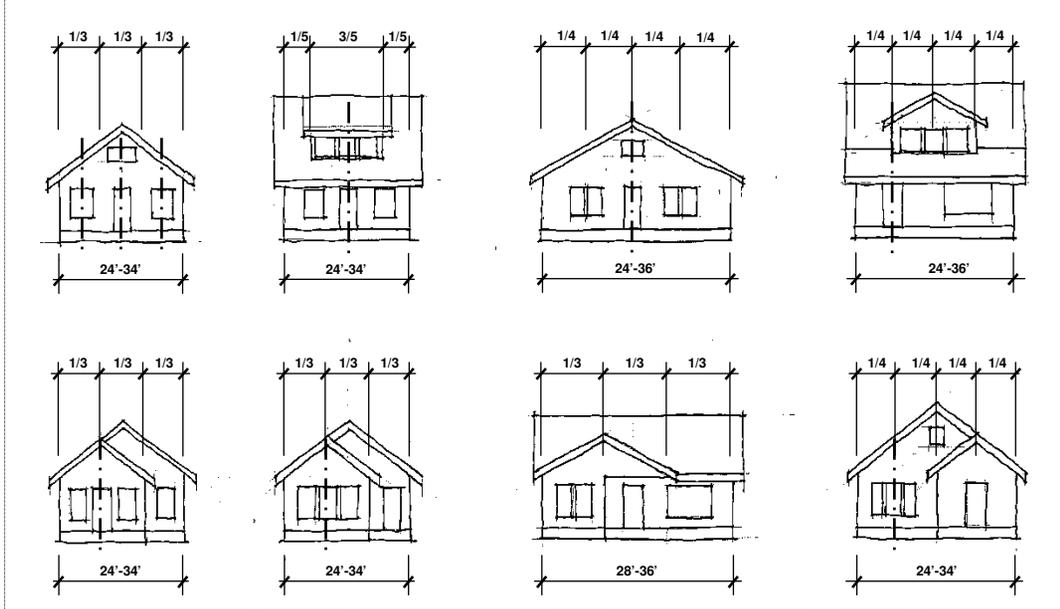


**Massing Diagrams**



- A** One and a half-story shed with shed dormer
- B** One-story front gable with bay or porch projection
- C** One and a half-story dual-pitched shed with dormer
- D** One and a half-story gable front
- E** Cross-gable

**Front Facade Diagrams**



# Craftsman

## Massing and Composition

**Massing Diagrams**

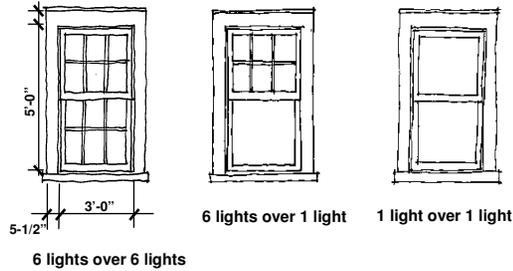
- A One and a half-story shed with dormer**  
Simple front shed roof with maximum 8:12 pitch. Front porch is under the main roof. Side bays with one-story shed roof is an option.
- B One-story front gable with bay or porch projection**  
Front gable roof with maximum 8:12 pitch. Front porch or interior bay in the front projection. Two-story porch not recommended. Side bays under eaves are an option.
- C One and a half-story dual-pitched shed with dormer**  
Dual-pitched front facing shed roof with maximum 8:12 pitch. Porch is included in the main mass. The front dormer is in alignment with the exterior (entry door) wall. Wrap around porch not recommended. One-story side bays with shed roof are an option.
- D One and a half-story gable front**  
Simple gable roof with maximum 8:12 pitch. Front porch is included in the main mass. Wrap-around porch not recommended. Two-story porch not recommended. Side bays under eaves are an option.
- E Cross-gable roof**  
The main mass has a shed roof facing the front. The projecting front porch or bay is gable-front. Wrap around porches are an option, making this an excellent Craftsman on corner lots that face two streets.

**Façade Composition**

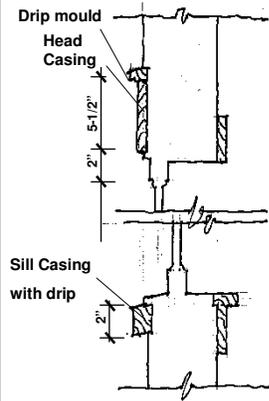
Front Façade composition is either symmetrical or asymmetrical. Typically, the entry is located in the center axis for simple gable buildings, but off-center is allowed. In both cases it is preferred that the porch stair be centered on the entry door. Windows are bilaterally symmetrical for center-axis entry or there may be a main window adjacent to off-center entry types. Windows are often grouped in two's and three's. Side elevation windows are typically located based on the interior spaces and are not symmetrically composed. Dormer windows are in groups of twos and threes.



**Standard Windows**



**Typical Window Details**



**Windows and Doors**

**Standard Windows**

Windows are typically vertical in proportion. Window patterns include grilles (muntins) that are 1 over 1, 2 over 2, 6 over 6 and less commonly 6 over 1. Snap-in muntins are discouraged, grilles (muntins) that simulate divided lights are preferred. The double line at the head casing (see sketch) indicates optional dripmold. The sill casing is 1-1/2" to 2" tall and slopes to drain. The sill casing should never have an apron at the bottom.

**Special Windows**

Special windows include triple windows and "3 over 1" windows (see sketches). Craftsman windows may also have special art glass typically located at the entry vestibule. In general the casing principles are the same as for the standard windows. Sometimes, the head casing projects beyond the jamb casing.

**Trim**

Windows and doors typically have 5-1/2" jamb casing and head casing. Dripmold at the head is an option.

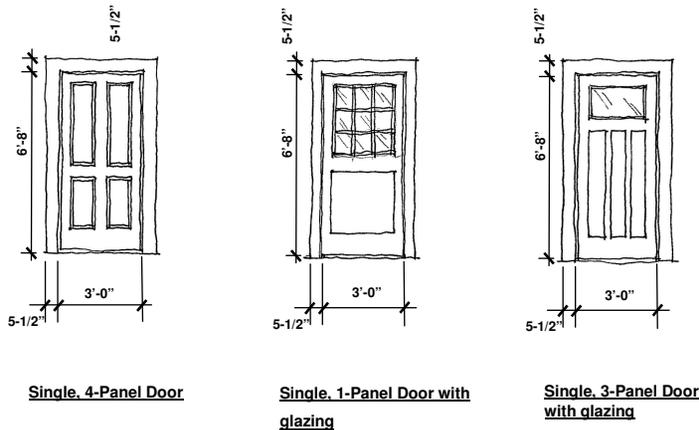
**Standard Doors**

Doors include 1 and 2-panel patterns. Sidelights are uncommon, but door glazing is common. Craftsman entry doors may have more elaborate glazing, panels and trim.

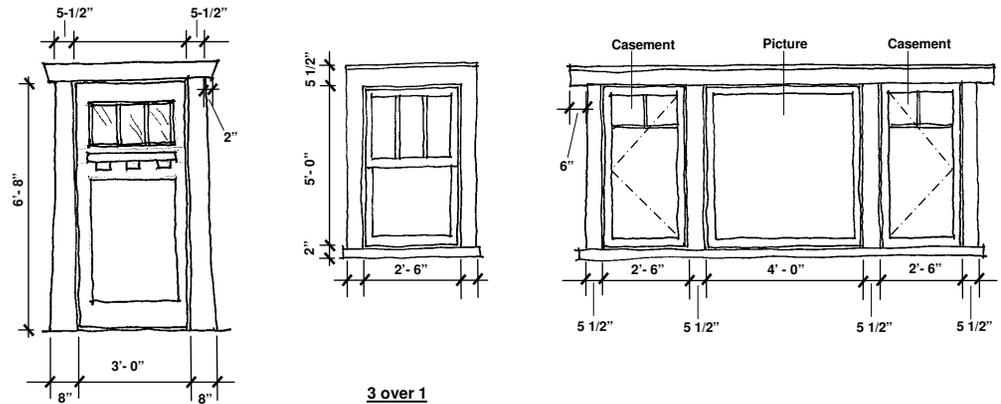
**Shutters**

Shutters are not commonly seen on Craftsman homes.

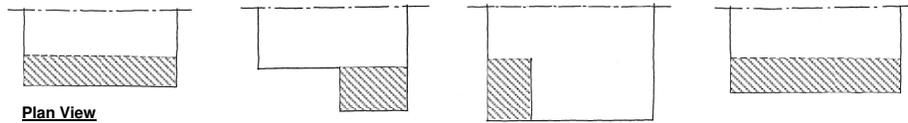
**Standard Doors**



**Special Windows and Doors**

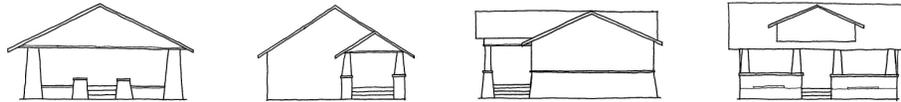


**Porches**



**Plan View**

**Front Elevation View**



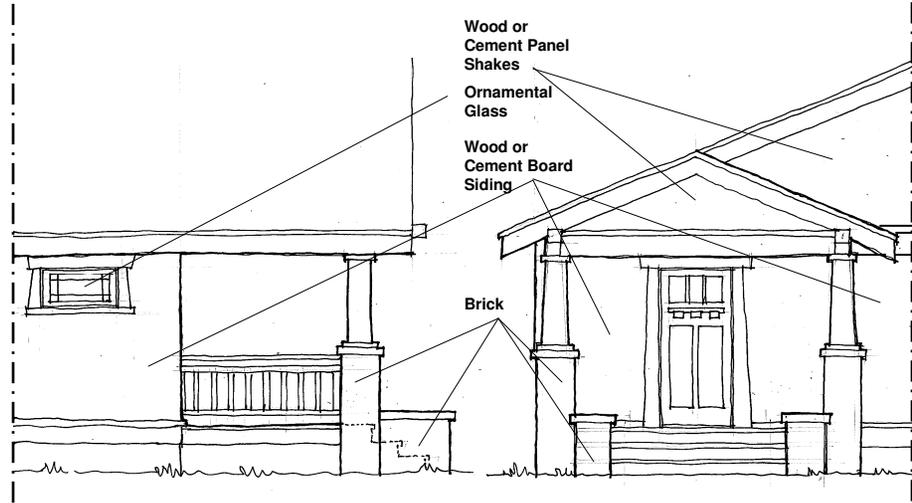
*One story gable front with full front porch*

*One story house with front porch projection*

*One story house with partial side porch*

*One story (or 1-1/2 with dormers) house with full front porch*

**Porch Elevations**



**Side Elevation View**

**Front Elevation View**

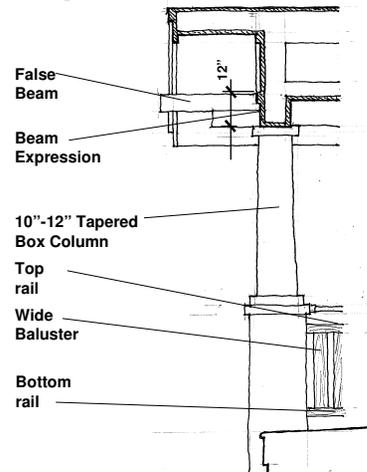
**Craftsman**



*Typical Craftsman Style house with a full porch*



*Historic rendering of a craftsman style house with a 3/4 size front porch with gable accent.*



**Porches**

Craftsman Porches are commonly one story with low-slope hip or shed roofs. A gable accent over the stairs or at the top of a second story porch is also an option. Columns can be 10-12 inch diameter doric or tuscan style columns. Box style columns can be 10-16 inch square and may be tapered. Handrails can be flat or profiled and balusters can be flat, square or rectangular stock. It may be necessary to install a steel guardrail above a 30" high wood guardrail in order to meet the code (see sketch). Column height is typically 8-9 feet for the first story of a porch. The height of the guardrail is 30" above the porch for porches less than 24" above grade, but never taller than 36" above the porch where allowed by the building code (verify with the building code).

Porch depth is 6 feet minimum and 8 feet maximum. Eight feet is encouraged to allow for a more spacious furniture configuration.

Craftsman Porches often include exposed rafters at the eaves, trellis work and craftsman style metalwork such as the address numbers and the mailbox.





Colonial Style House in the Liberty Heights Neighborhood.



Two Family House in the McKnight Neighborhood in the Colonial Style



Colonial Homes in the Sixteen Acres Neighborhood



Dutch Colonial Style home in East Forest Park



Colonial Style House: Two-Family (left), One Family (right)

- 1 Gable or shed faces the front.
- 2 Upper unit porch only on stacked homes.
- 3 Massing and configuration is very straightforward.
- 4 The front façade may include a front porch or stoop.

# Colonial

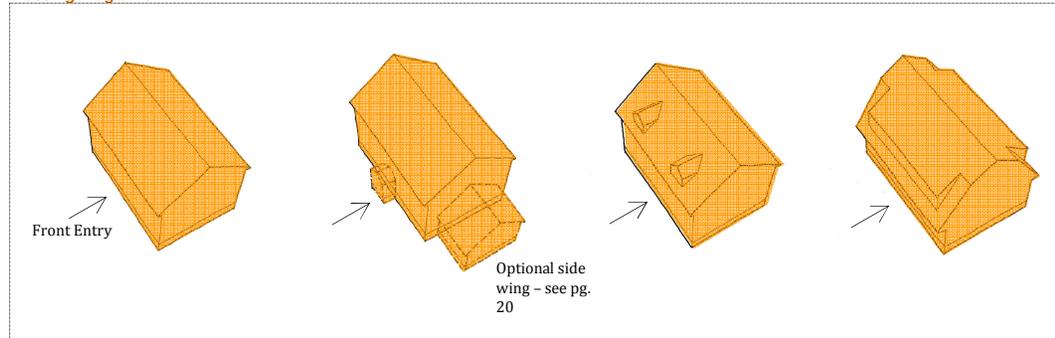
## History and Character

THE COLONIAL STYLE refers to a 2 to 2-1/2 story that is actually a revival style built between 1880 and 1955. Most designs have a single entry door leading to a common hall with a stair to the upper floor. Two-family versions may have separate entry doors, as illustrated in the sketch. In general, the Two Family Colonial House resembles a large single family home, so it fits nicely into neighborhoods that have 2 to 3 story, single family homes. During the early 20<sup>th</sup> century, many were built as investment properties as tenants appreciated the convenience of a family-size apartment combined with the psychological comfort of a single house. Built in a variety of gable, hip and “Dutch” roof types throughout Springfield, the Colonial fits easily into Springfield neighborhoods.

Another similar size house that has a second floor with side elevations projecting beyond the first floor (commonly known as a “mushroom house”) does not fit within Springfield’s older neighborhoods. Identical stacked exterior walls for two family houses are the preferred approach so that the exterior walls do not shift horizontally between floors. The following pages illustrate the features of a Two Family House.

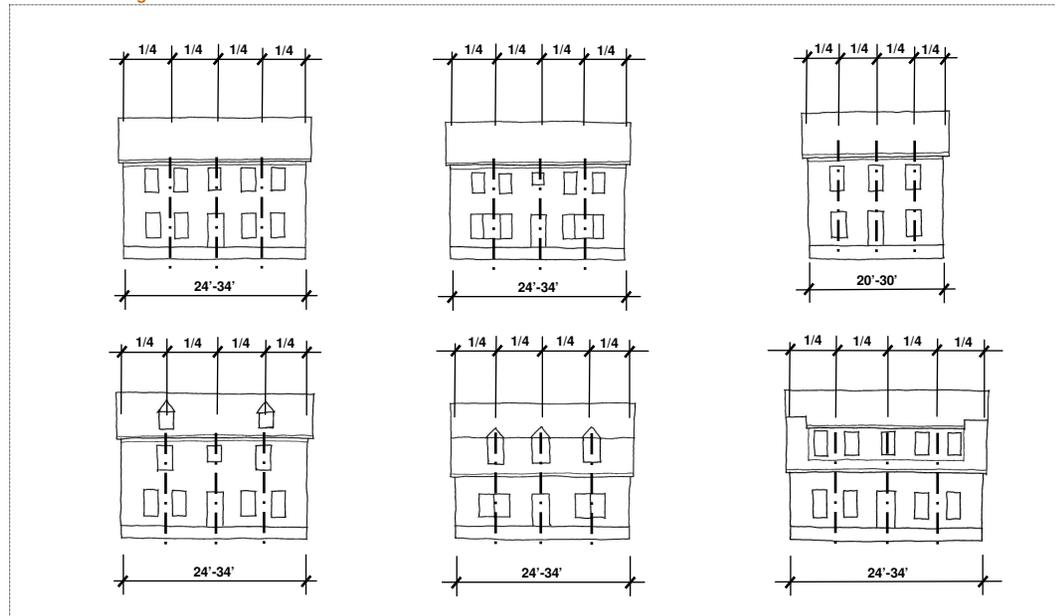


Massing Diagrams



**A** Two-story Basic    **B** Two-story Basic with front entry and side projection    **C** Two-story Basic with Dormers    **D** Two-story Dutch Colonial

Front Façade Diagrams



# Colonial

## Massing and Composition

### Massing Diagrams

#### A Two-story Basic

Simple side gable roof with minimum 6:12 pitch. Front entry is typically centered on the front façade.

#### B Two-story with front entry and side projection

Simple side gable roof with minimum 6:12 pitch. Front porch or front entry projection is centered on façade. Two-story porch not recommended, except for a two-family stacked house. A one-story side wing with a flat or sloping roof is an option.

#### C Two-story Basic with Dormers

Simple side gable roof with minimum 6:12 pitch. The front dormer is in alignment with the exterior (entry door) wall. Dormers should be vertically proportioned to match window size. A one-story side wing with a flat or sloping roof is an option.

#### D Two-story Dutch Colonial

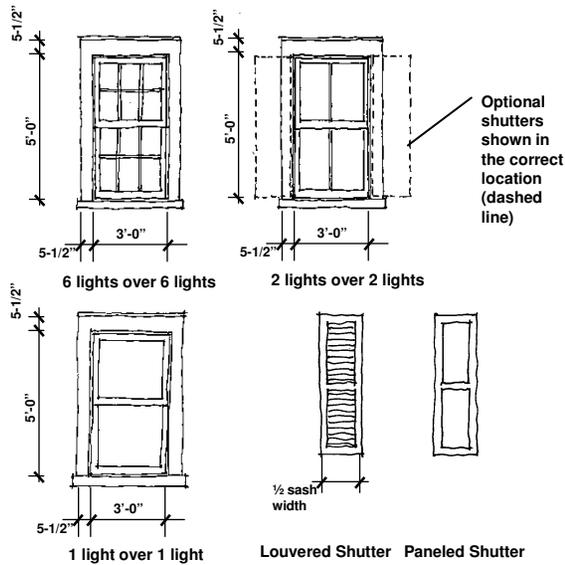
Gambrel roof running lengthwise along long side of house. Front porch not recommended. Shed dormer, gabled dormers and side wings are an option.

### Façade Composition

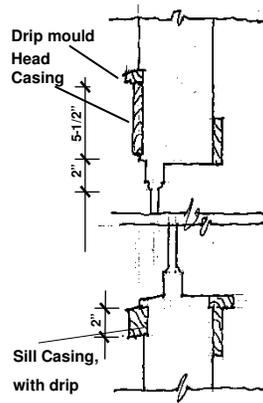
Front Façade composition is symmetrical. Typically, the entry is located in the center axis for all massing types. The porch/entry stairs should be centered on the entry door. Windows are bilaterally symmetrical for center-axis entry. Windows may be grouped in two's and three's on the first story. One second story window is typically located above center-axis entry. Side elevation windows are typically located based on the interior spaces and are symmetrically composed. Dormer windows are in groups of twos and threes.



**Standard Windows**



**Typical Window Details**



**Windows and Doors**

**Standard Windows**

Windows are typically vertical in proportion. Window patterns include grilles (muntins) that are 1 over 1, 2 over 2, 6 over 6 and less commonly 6 over 1. Snap-in grilles (muntins) are discouraged, grilles (muntins) that simulate true-divided lights are preferred. The double line at the head casing (see sketch) indicates optional drip mould. The sill casing is 1-1/2" to 2" tall and slopes to drain. The sill casing should never have an apron at the bottom.

**Special Windows**

Special windows include dormers (see sketch). In general the casing principles are the same as for the standard windows.

**Trim**

Windows and doors typically have 4-1/2" jamb casing and 6-1/2" head casing. Drip mould at the head is an option.

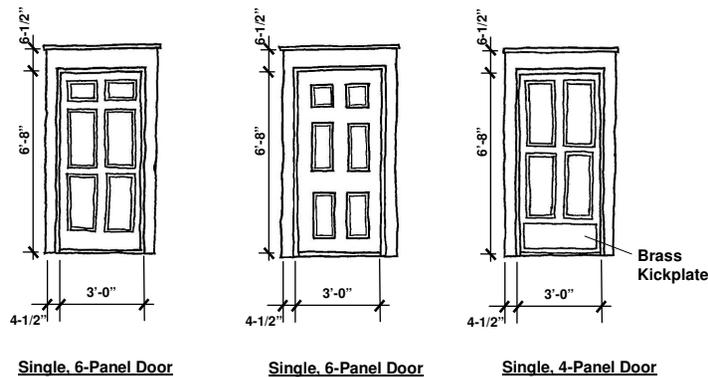
**Standard Doors**

Doors include 6-panel patterns. Sidelights are common, but door glazing is not often seen. Colonial entry doors may have more elaborate pediments, columns and trim.

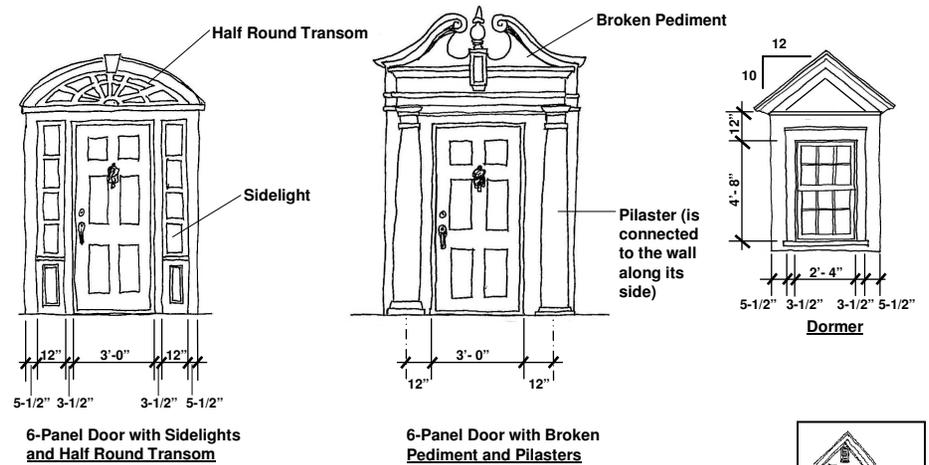
**Shutters**

Shutters are an option and are commonly seen on Colonials. Shutters should be equal in height and half the width of the glazing of the window. They could be either all louvered or all paneled.

**Standard Doors**



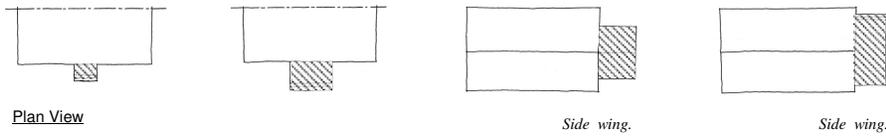
**Special Entry Doors**



**Colonial**



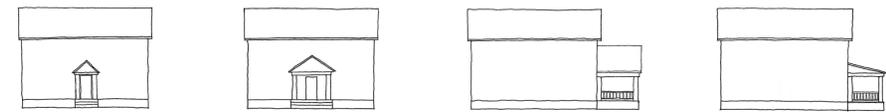
**Porches**



Plan View

Side wing.

Side wing.



Two-story house with front stoop.

Two-story house with partial front porch.

Two-story house with partial side wing porch.

Two-story house with full side wing porch.

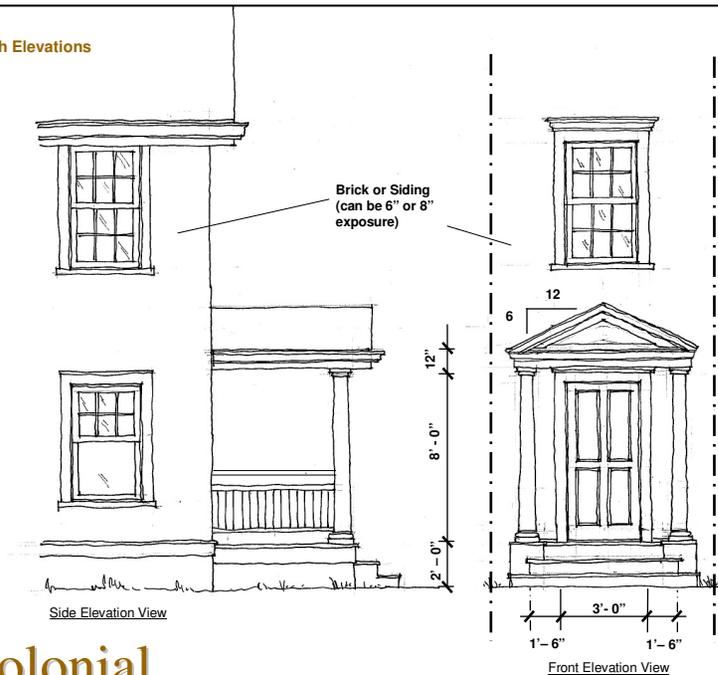


Front portico with a gable facing the street.



Front stoop with optional pediment and pilaster detail.

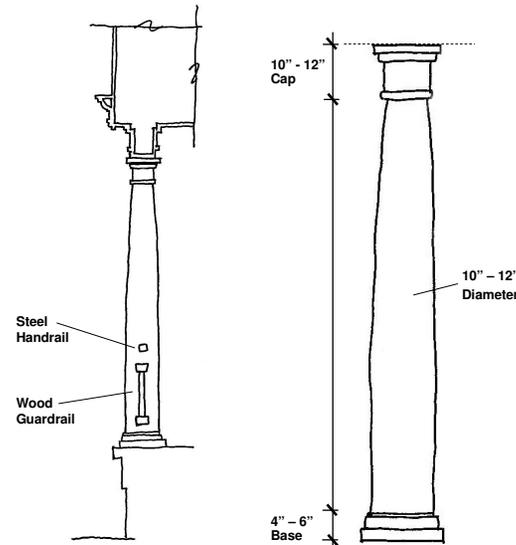
**Porch Elevations**



Brick or Siding (can be 6" or 8" exposure)

Side Elevation View

Front Elevation View



Steel Handrail

Wood Guardrail

10" - 12" Cap

10" - 12" Diameter

4" - 6" Base

**Colonial**

**Porches**

Porches are typically one story with low-slope hip or shed roofs. Stacked porches are seen on Colonial style homes only when they are two-family stacked. A gable accent over the stairs or at the top of a second story porch is also an option. Columns can be 8-10 inch diameter doric or tuscan style. Box columns can be 10-16 inch square, but should include a classical base and cap. Colonial houses with a stoop have pilasters and a pediment. Handrails can be flat or profiled and balusters can be flat, square or rectangular from dimensional lumber stock.

Column height is typically 8-9 feet for the first story of a porch. The height of the guardrail is 30" above the porch for porches less than 24" above grade, but never taller than 36" above the porch where allowed by the building code (verify with the building code).

If the house has a front porch, the depth is 6 feet minimum and 8 feet maximum. Eight feet is encouraged to allow for a more spacious furniture configuration. Colonial homes may have sun-room or screen porch side wings that are in addition to the front porch. These do not typically wrap around the front corner to connect to the front porch or stoop.





*Cape Style House*



*Cape Style House with dormers and 1-car garage*

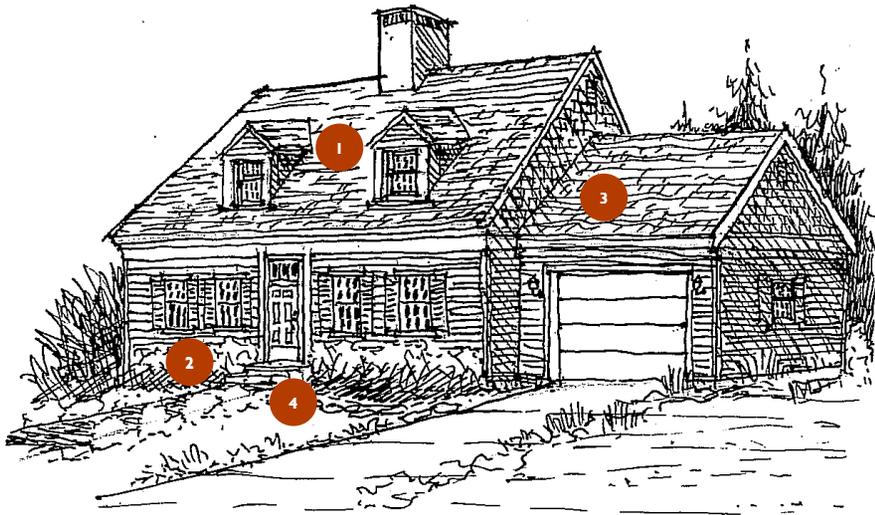


*Cape Style House*



*Cape Style House in Sixteen Acres Neighborhood*

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*Cape Style House*

- |  |  |
|--|--|
| <p>1 Shed faces the front.</p> <p>2 Symmetrical window arrangement on front Façade</p> | <p>3 Simple, gable mass with optional shed side wing.</p> <p>4 The front Façade may include a stoop.</p> |
|--|--|

## Cape

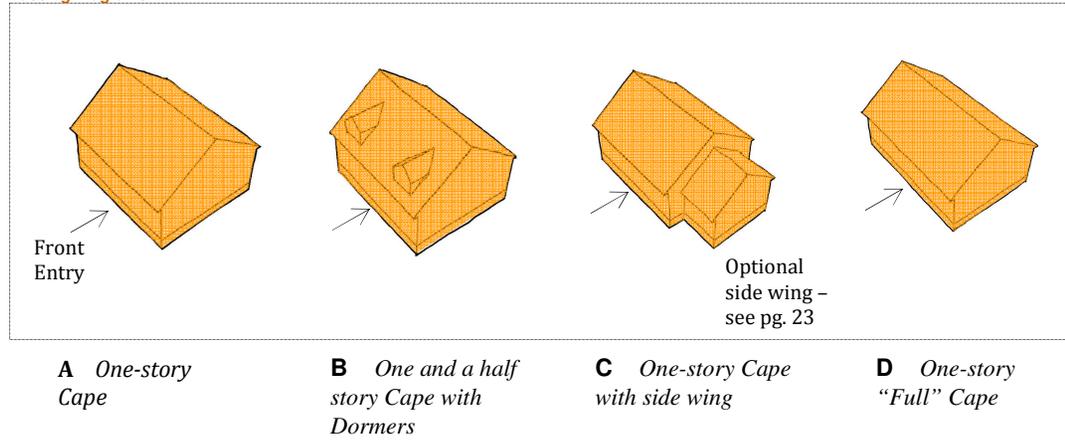
### History and Character

THE CAPE STYLE refers to a 1-½ story house with a steeply pitched roof that originated in New England during the late 17<sup>th</sup> century. The Cape style was built in New England until about 1850. Early Capes had two main rooms, a hall and parlor, which are referred to as a “Half Cape”. Over time these rooms were divided to create other rooms such as the kitchen or bedrooms. The Cape features a central main chimney used to heat the entire house. The Cape later enjoyed a revival between 1930 and 1950 as a small, economical, nostalgic style.

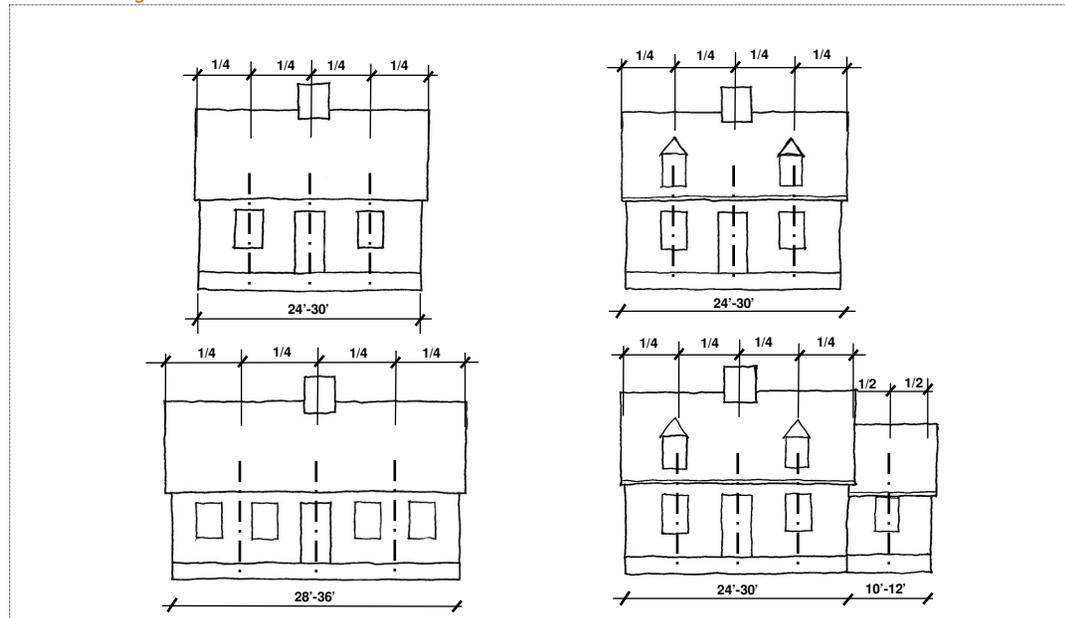
The Cape has a single, centrally placed entry door flanked by either one or two windows. The center door opens onto a common hall with a stair to the upper floor. The 1-½ story Cape typically has dormers cut into the roof to create livable spaces on the upper floor. These are called “dog house” dormers. They are placed symmetrically above first floor windows. Full, house length shed dormers may also be used at the rear of the house to expand the livable floor area of the upper floor. Side wings can be added for garages or additional living spaces. The following pages illustrate the features of a Cape House.



Massing Diagrams



Front Façade Diagrams



Cape

Massing and Composition

Massing Diagrams

**A One-story Cape**

One story with simple side gable roof with minimum 6:12 pitch. Front entry is typically centered on the front façade.

**B One and a half story Cape with Dormers**

One and a half story with simple side gable roof with minimum 6:12 pitch. The dormer windows are aligned with first floor windows below. Dormers should be vertically proportioned to match window size. A one-story side wing with a shed or pitched roof is an option.

**C One-story Cape with Side Wing**

One story with simple side gable roof with minimum 6:12 pitch. The front stoop is centered on the facade. A side wing with a shed or pitched roof is an option.

**D One-story "Full" Cape**

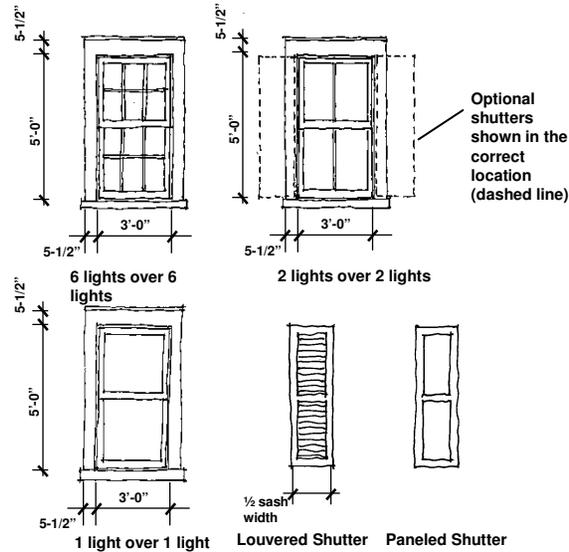
One story with simple side gable roof with minimum 6:12 pitch. Typically the "Full" Cape has two windows on either side of the front door. The front entry is centered on the front façade.

Façade Composition

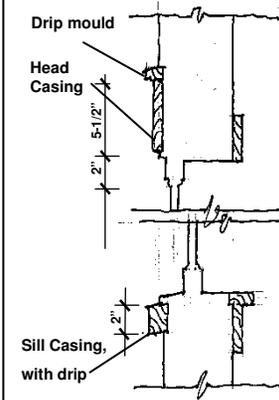
Front Façade composition is symmetrical. Typically, the entry is located in the center axis for all massing types. The stoop/entry stair should be centered on the entry door. Windows are bilaterally symmetrical for center-axis entry. Windows may be grouped in two's on the first story. Dormer windows are single and located over first story windows. Side elevation windows are typically located based on the interior spaces and are symmetrically composed.



**Standard Windows**



**Typical Window Details**



**Windows and Doors**

**Standard Windows**

Windows are typically vertical in proportion. Window patterns include grilles (muntins) that are 1 over 1, 2 over 2, 6 over 6 and less commonly 6 over 1 Snap-in grilles (muntins) are discouraged, grilles (muntins) that simulate true-divided lights are preferred. The double line at the head casing (see sketch) indicates optional drip mould. The sill casing is 1-1/2" to 2" tall and slopes to drain. The sill casing should never have an apron at the bottom.

**Special Windows**

Special windows include dormers (see sketch). In general the casing principles are the same as for the standard windows.

**Trim**

Windows and doors typically have 4-1/2" jamb casing and 6-1/2" head casing. Drip mould at the head is an option.

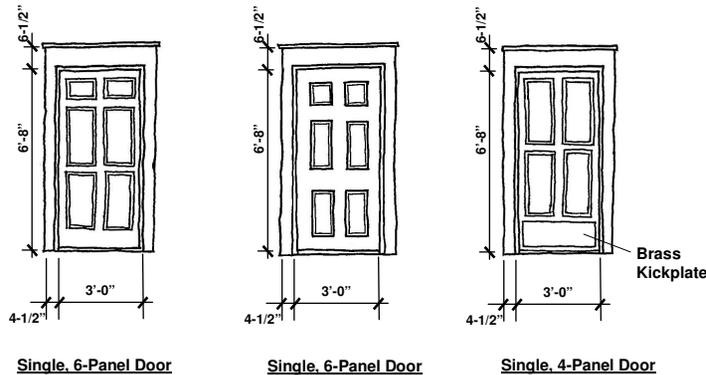
**Standard Doors**

Doors include 6-panel patterns. Sidelights are sometimes deployed, but door glazing is not often seen. Cape entry doors may have pediments, columns and trim. (See special entry doors)

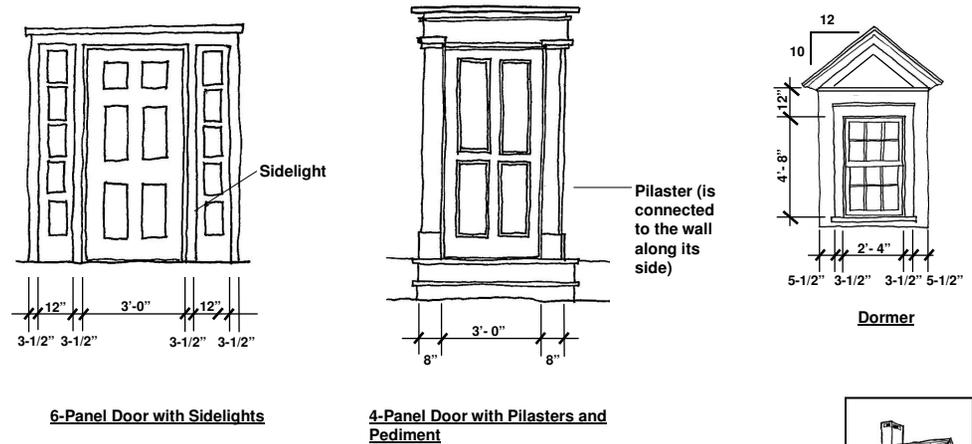
**Shutters**

Shutters are an option and are often seen on Capes. Shutters should be equal in height to the sash and half the width of the window. They could be either all louvered or all paneled.

**Standard Doors**



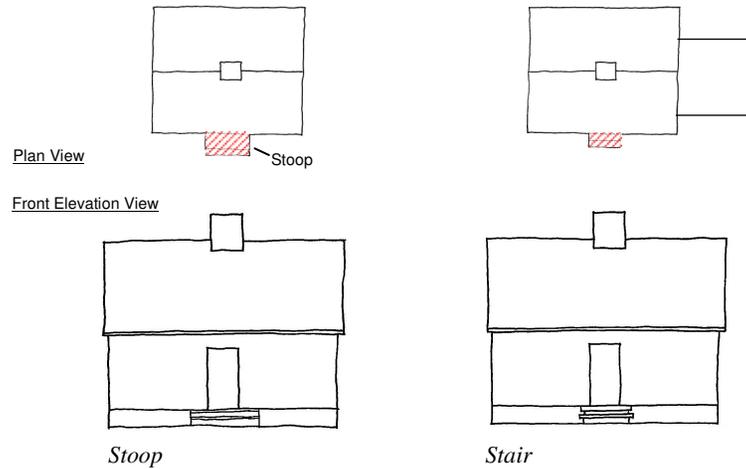
**Special Entry Doors**



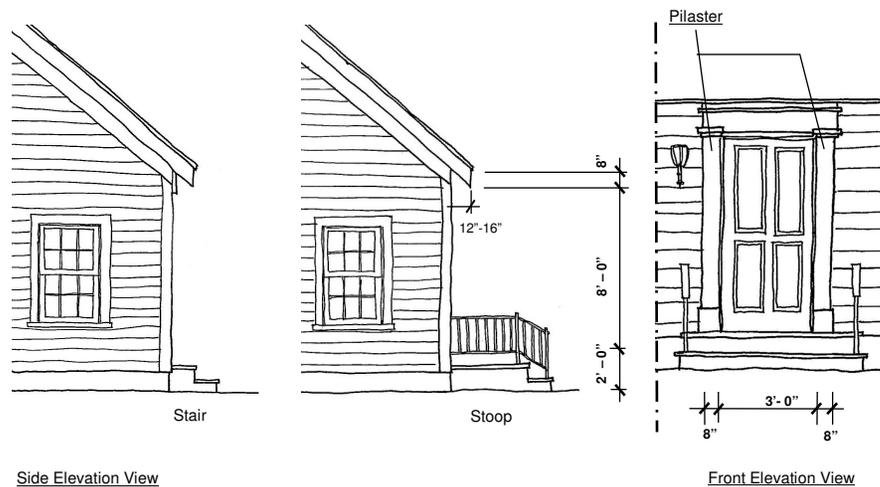
**Cape**



**Stoop/Stair**



**Stoop/Stair Elevations**



**Cape**

**Stoop/Stair**

Capes have either a small front stoop or set of stairs instead of a covered front porch. A small stoop is usually slightly wider than the front door and can have simple railings. Depending on the grade, the stoop is only 2-3 steps high because the floor level is not more than 24" above grade. It is also common to have one small step at the front door. Cape houses can have a flat fronted pilaster and pediment detail. This type of entry easily accommodates an accessibility ramp, that can be integrated with the front yard landscaping. That makes the Cape an ideal style for persons with disabilities and elders.



*Front stoop with railings.*



*Front stoop with optional pediment and pilaster detail.*



*Front stoop with railings.*



*Stoop with Pilaster/Surround*





Ranch Style House in the Pine Point Neighborhood.



Ranch Style House in the Sixteen Acres Neighborhood



Ranch Style House in East Forest Park



Ranch Style House in East Forest Park



Ranch Style House

- 1 Shed roof faces the front, gables face the sides.
- 2 Long, low roofline.
- 3 Massing and configuration is very straightforward.
- 4 The front façade may include a front porch or stoop.
- 5 Horizontal mullion, tall windows are possible.

# Ranch

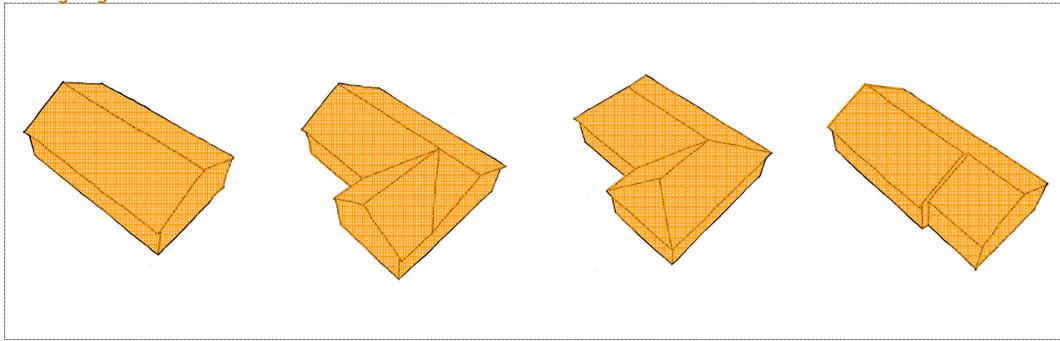
## History and Character

THE RANCH STYLE refers to a 1-story house first built during the 1920's. The Ranch features long, low rooflines as well as minimal interior and exterior decoration. The ranch was very popular between the 1940's to the 1970's. The flexibility and simple construction of the ranch, made it a popular choice in suburban housing developments. Ranch houses are horizontal, narrow, and low to the ground. They are oriented with the long dimension facing the street.

The Ranch can have a rectangular, L-shaped, or U-shaped floor plan. Roofs are usually low pitch shed or hipped configurations. Generally, these roofs feature deep overhanging eaves. On L-Shaped Ranches, the front projecting mass usually has a gable end facing the street. Unlike the Cape, the Ranch entry is not symmetrical. Ranch house garages are commonly included in the massing of the house or in side wings. Exterior siding can be shingled, clap-board or brick/cast stone. Windows can be double hung, casement, sliding or picture. Decorative detailing is rarely present with the exception of decorative shutters on a colonial style ranch. However, the Ranch style easily accommodates modernist features such as slab doors, soffit lights and stone or brick base walls.

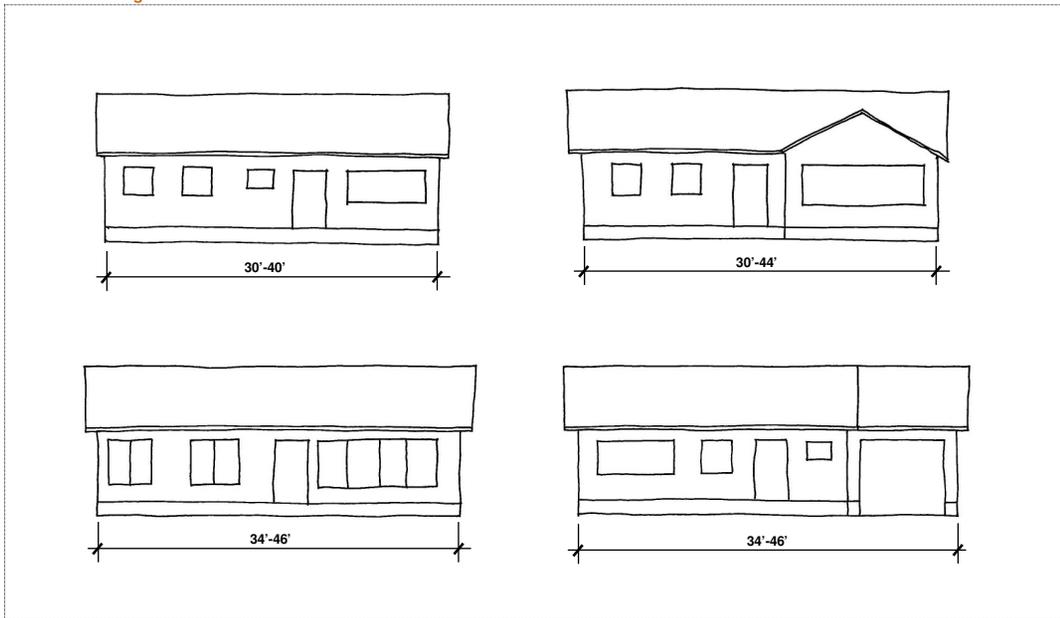


Massing Diagrams



**A Ranch**      **B L-Shaped Ranch**      **C L-Shaped Ranch with Hipped Roof**      **D Ranch with attached Garage**

Front Façade Diagrams



# Ranch

## Massing and Composition

### Massing Diagrams

#### A Ranch

Simple shed roof with maximum 6:12 pitch. The front entry or a small front stoop can be centered or offset on the front façade.

#### B L-Shaped Ranch

Simple side gable roof and front gable projection, both with maximum 6:12 pitch. Front gable projection can be on either side of the house. The front entry or small front stoop is typically located near the inside corner where the gable projection meets the main body.

#### C L-Shaped Ranch with Hipped Roof

Lengthwise hipped roof with maximum 6:12 pitch. Front projection can have hipped or gable roof with same pitch as main roof. The front entry or a small front stoop can be centered or offset on the front façade.

#### D Ranch with attached Garage

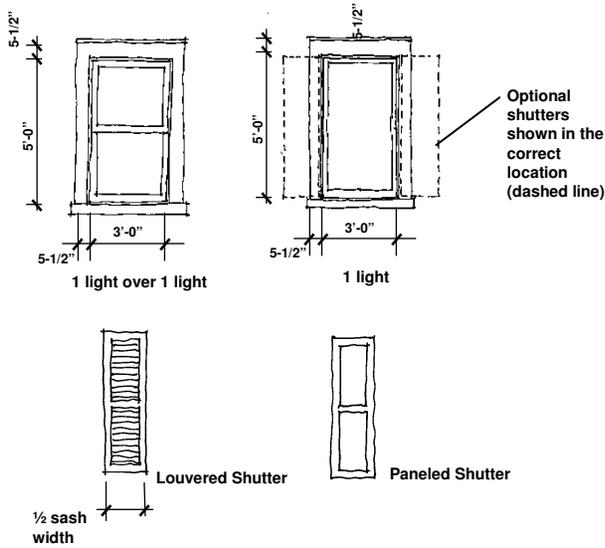
Simple shed roof with maximum 6:12 pitch. Front entry can be centered or offset on the façade. Attached garage can be positioned on either side of house. It is important that the garage is set back from the main body front façade.

### Façade Composition

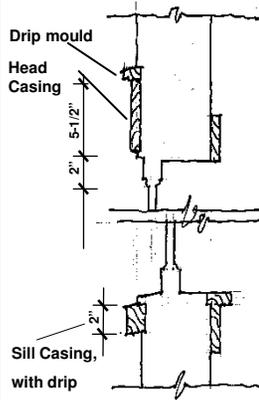
Front Façade composition is asymmetrical. Typically, the entry is located off center for all massing types. The front entry stair or stoop is centered on the entry door. Windows can be double-hung, sliding, casement, picture, or combinations (eg. casement/picture). Windows are located based on the interior spaces and proportioned according to the room size. For example, large picture windows are commonly used at the living room, located at the front of the house.



**Standard Windows**



**Typical Window Details**



**Windows and Doors**

**Standard Windows**

Operable windows are typically vertical in proportion. Picture windows tend to be horizontal. When grilles (muntins) are deployed on Colonial Ranch windows they are 6 over 1 or 6 over 6. The double line at the head casing (see sketch) indicates optional dripmold. The sill casing is 1-1/2" to 2" tall and slopes to drain. The sill casing should never have an apron at the bottom.

**Special Windows**

Special windows include picture, casements and hoppers. In general the casing principles are the same as for the standard windows.

**Trim**

Windows and doors typically have 4-1/2" jamb casing and 6-1/2" head casing. Dripmold at the head is an option.

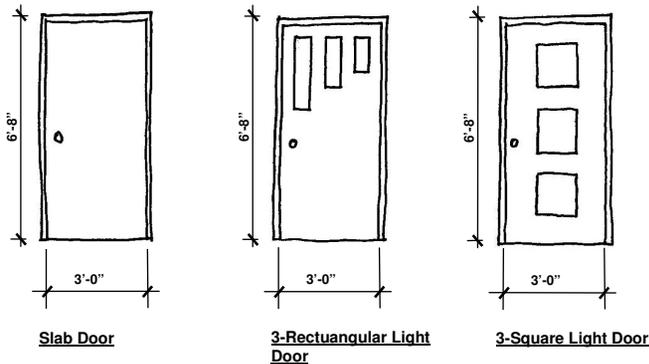
**Standard Doors**

Doors include slabs and multiple light patterns. Sidelights, single or double, are common and door glazing is often seen. Ranch entry doors may have small areas of glazing.

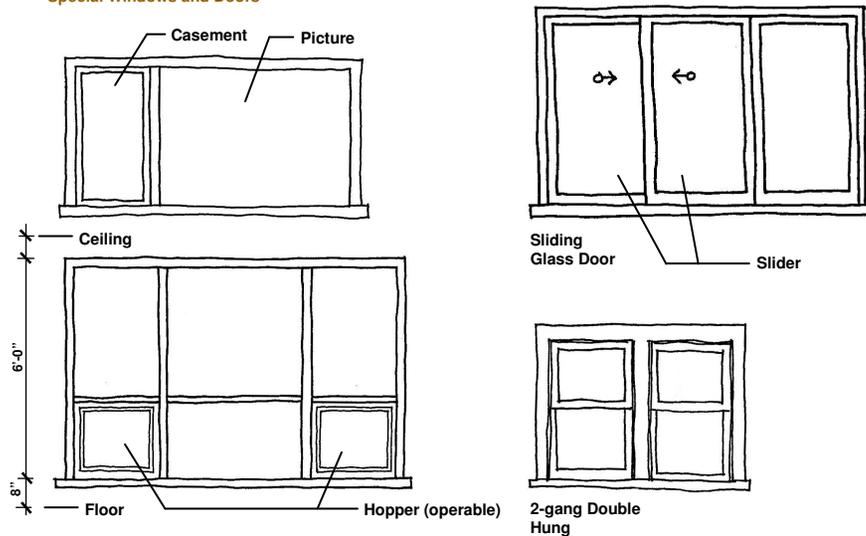
**Shutters**

Shutters are an option and are occasionally seen on Colonial Ranches. Shutters should be equal in height and half the width of the window sash. They could be either all louvered or all paneled.

**Standard Doors**



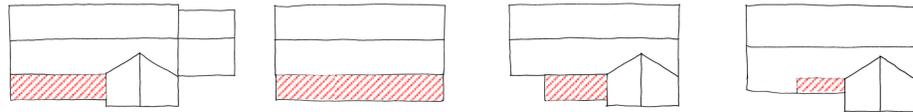
**Special Windows and Doors**



**Ranch**

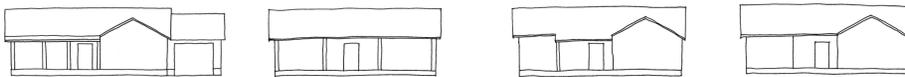


**Porches**

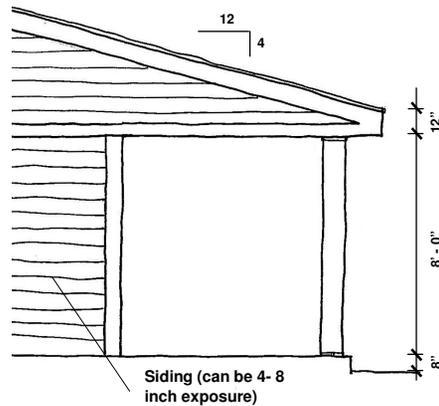


Plan View

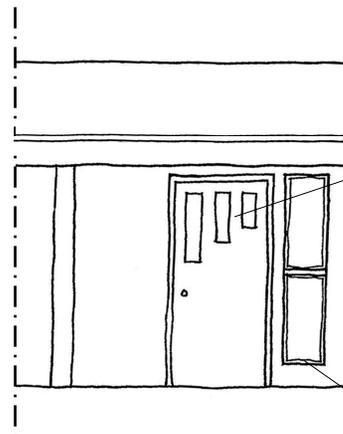
Front Elevation View



**One-Story Porch Elevations**



Side Elevation View

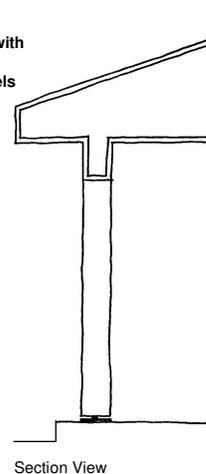


Front Elevation View

*Front porch occupies an area under the projecting gable..*

Slab door with retro style vision panels

Full-height sidelight



Section View



*Front portico with a gable facing the street.*



**Ranch**

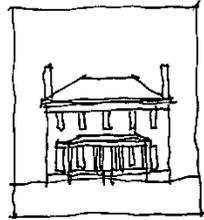
**Porches**

Porches on Ranch Style houses are commonly located beneath the main house roof. Sometimes, the Ranch Style house has a shed roof that extends over a full-length porch. Stacked porches are not possible on 1-story Ranch Style homes. Ranch homes are mostly unadorned, so pediments or gable accents over the entry door are inappropriate or uncommon. Columns can be 4-8 inch square with no decorative caps or bases. Instead, the post is attached to a metal post base that is anchored to the porch slab/foundation. Colonial Ranch homes may have shuttered windows, but pilasters surrounding the main entrance are eliminated. Handrails are usually not needed since the main floor level is not more than 12-18 inches above grade.

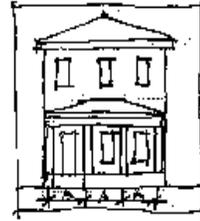
Column height is typically 7 1/2 - 8 feet. Porch beams may be 'upturned' into the ceiling and not visible from below.

If the house has a front porch, the depth is 6 feet minimum and 10 feet maximum. Eight feet is encouraged to allow for a more spacious furniture configuration.

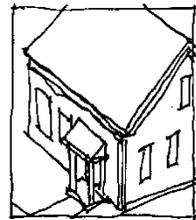




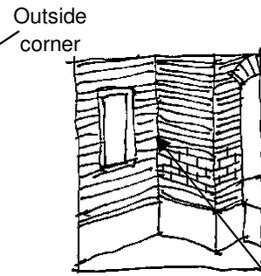
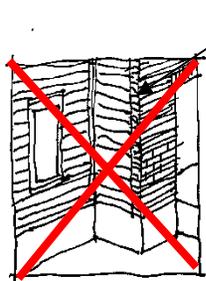
*Traditional architecture is based on simple geometry and massing.*



*Porch columns should be placed in a regular rhythm that is related to the exterior openings.*



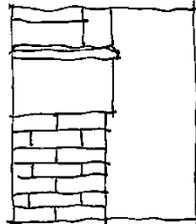
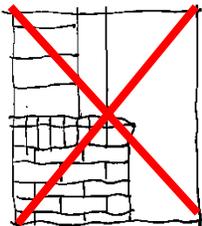
*Bay roofs should be separate from the main roof and should never be a shed continuation of the main roof.*



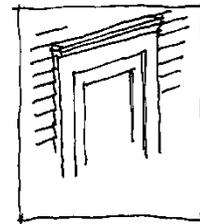
*Heavy materials should be located below a joint between materials such as horizontal siding and masonry. Vertical joints between heavy and lighter materials should not occur at outside corners.*

Outside corner

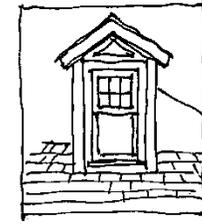
Inside corner



*Brick bump-out bases look fake. The brick veneer should be laid tight to the foundation with only a 3/8" gap that is filled with mortar. A 2x12 sill plate should be set flush with the outside of the brick.*



*Window casings should be at least 3-1/2" wide. In no cases should thin-looking 2" wide (or less) brick mold be used as a substitute.*

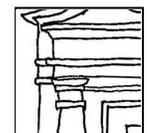


*Dormer windows should be vertically-proportioned. Dormer windows should also be slightly shorter than windows on the story below.*

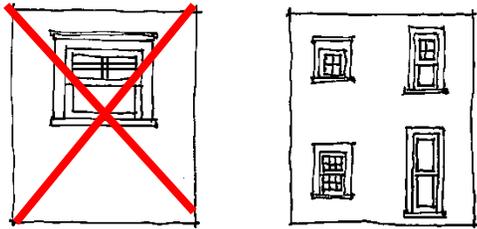
## Detail Configuration

"THE DEVIL IS IN THE DETAILS" a phrase, describes what often happens to the exterior details of residences. With challenging budgets, short-cut details may have a lower initial cost, but translate into a cheap looking exterior. An agglomeration of short-cut details significantly reduces the architectural value of a residence, and ultimately impacts the potential asking price. It is important to recognize that architectural details must be properly configured in their form, material and proportion in order to convey design harmony. **The sketches on these pages illustrate the do's and don'ts of detail configuration that apply to all styles.**

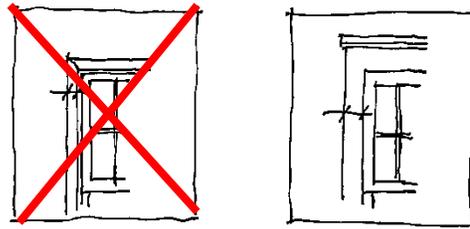
## General Detail Guidelines



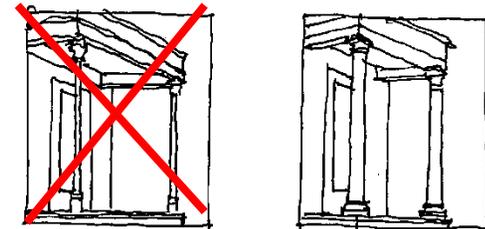
## Detail Configuration



Windows should be vertically proportioned.



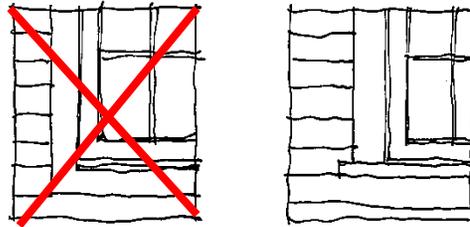
Door and window casing should never be less than 3-1/2" wide.



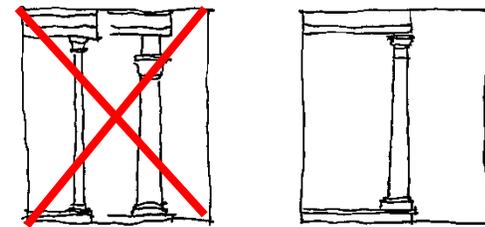
Columns should be proportioned to at least appear to be supporting the load.



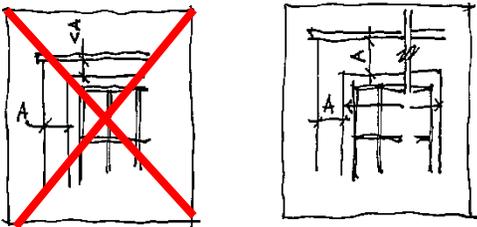
The individual glass panes should always be vertically proportioned or square, but never horizontally proportioned.



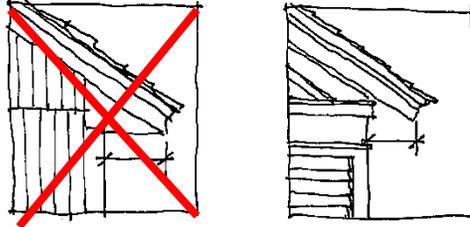
The sill casing should never be a continuation of the head or jamb casing. Generally, it should be 1-1/2" or 1/4 the jamb casing width.



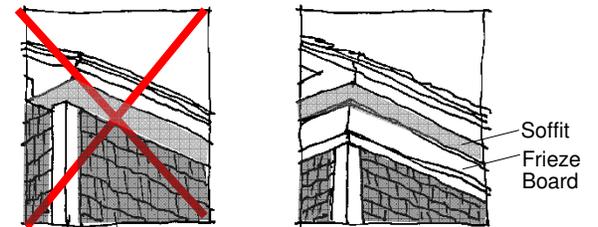
Column style should be appropriate to the style of the rest of the building and the proportions should not appear too skinny or too fat.



Head casing should be equal to or wider than jamb casing, and should never be less than 1/6 of the opening width.

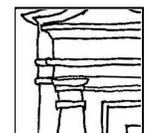


The eave overhang should be based on the building style. 18" to 24" overhangs that are common in ranch style homes are not appropriate for the Colonial Style, just as 6" overhangs are too short for the Craftsman Style.



The frieze board that terminates the shingles or siding at the eave should not be eliminated.

## General Detail Guidelines



## Landscape Layout

Residential landscapes create dynamic places that foster a sense of place, the season of the year, and a community appreciation for nature. Large, deciduous trees frame the spatial structure and provide shade as well as reduce energy needs during the summer. Their canopies provide a sense of enclosure and frame the smaller scale garden elements. The next scale down, or “eye level landscape” add special interest to people by their texture, color, scent and shape. This level includes shrubs, hedges, fences, garden walls, flowers, grasses and hanging plants. The ground surface landscape should support the urban pattern and frame private entrances. These elements include paving, ground covers and potted plants at grade. The diagrams illustrate suggested approaches to landscape design for three typical lots called “A, B & C” which correspond to Springfield Zoning designations.

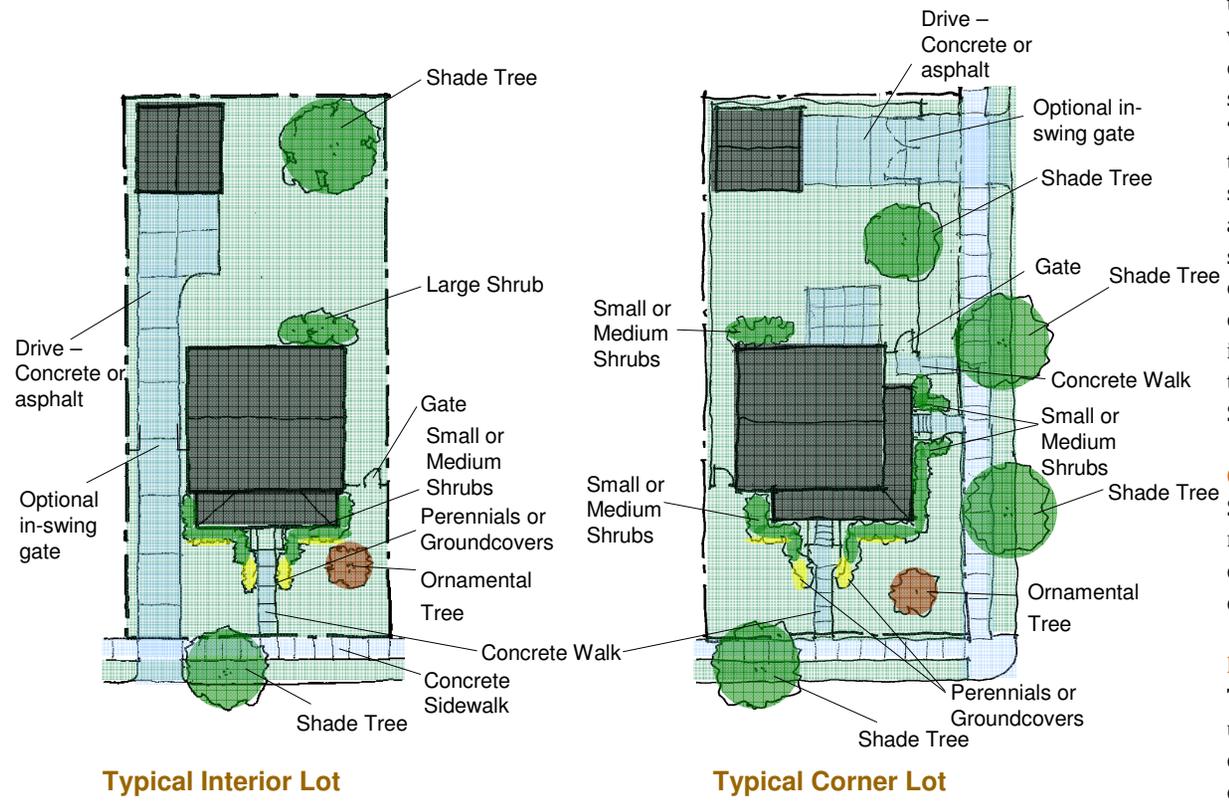
### Grading Notes

Single family and Two family homes should be raised a minimum of 12” - 18” above the sidewalk grade to ensure positive drainage and to give the homes an elevated presence along the sidewalk.

### Landscape Massing

Trees, shrubs, flowers and groundcovers should be used to define the outdoor spaces, reinforce primary entries and enhance the sidewalk pedestrian experience.

All pedestrian walks should be concrete or pavers. Only driveways should be asphalt. The color/material of the asphalt connects visually and physically to the street. Concrete (or pavers) makes a visual connection to the sidewalk.



Typical Interior Lot

Typical Corner Lot

# General Landscape Principles





### Paving

Paved surfaces should be constructed to minimize their visual impact. Walks should be 4' wide. Private walks are normally paved with concrete. Other options include stamped concrete or pavers.



### Fences

Fencing can define private spaces and carry the architecture into the landscape. On a practical level, it can protect pets, children and keep unwanted visitors out of the back yard. Chain link that is black in color is an acceptable alternative to iron fencing. Gates should never swing over the public sidewalk.

## Plant List

(Drought-Tolerant Plants)

### Trees

Amur Maple  
Mimosa Tree  
Smoke Tree  
Green Ash-cultivars  
Honeylocust-cultivars  
Junipers

Goldenrain Tree  
Jack Pine  
White Pine  
Japanese Black Pine  
Japanese Scholartree



*Juniper*



*Amur Maple*



*White Pine*

### Shrubs

Artemesias  
Quince  
Sweetfern  
Scotch Broom  
Arnold Promise  
Witchhazel  
Junipers- (shrub form)

Northern Barberry  
Mockorange  
Potentillas  
Sumacs  
Rugosa Roses  
Blackhawk-Viburnum



*Juniper*



*Sumac*



*Scotchbroom*

### Perennial/Ground Cover

Yarrow  
Bearberry  
Carpathian Bellflower  
Tickseed varieties  
Globe Thistle  
Blanketflower  
Babysbreath  
Hostas  
Lavenders  
Gayfeather

Maiden Grass  
Persian Catmint  
Bearded Tongue  
Russia Sage  
Moss Pink  
Coneflower  
Autumn Joy-Stonecrop  
Stoke's Aster  
Thyme Yellowroot



*Lavender*



*Hosta*



*Maidengrass*



*Stoke's Aster*



*Russia Sage*



## Landscape Materials

## ADDITIONAL RESOURCES

### Architecture

American Institute of Architects, Western Massachusetts Chapter  
*Lists contact information of local, professional residential architects*  
[www.wmaia.org](http://www.wmaia.org)

Affordable Housing Design Advisor  
*Provides tools and checklists for achieving good design*  
[www.designadvisor.org](http://www.designadvisor.org)

### Landscape

American Institute of Landscape Architects – Residential Information  
*Links and information about working with a professional landscape architect on your home*  
[www.asla.org/residentialinfo](http://www.asla.org/residentialinfo)

New England Wildflower Society  
*Educational information about native plants and where to buy*  
[www.newenglandwild.org](http://www.newenglandwild.org)

### Readings

Builder’s Booksource  
*Web retailer of builder resource books organized by category*  
[www.buildersbooksource.com](http://www.buildersbooksource.com)

### Springfield

Office of Planning and Economic Development  
*Information about local planning and neighborhoods*  
[www.springfieldcityhall.com/planning](http://www.springfieldcityhall.com/planning)

### Energy

US Department of Energy – Residential Buildings  
*Design information about sustainable and energy efficient homes*  
[www1.eere.energy.gov/buildings/residential/design\\_build.html](http://www1.eere.energy.gov/buildings/residential/design_build.html)

### Energy Star

*Information on building products and systems that can lower your energy costs*  
[www.energystar.gov](http://www.energystar.gov)

### Green Building

USGBC – Green Home Guide  
*Basic source of information for building and remodeling green homes, includes the LEED for Homes checklist*  
[www.greenhomeguide.org](http://www.greenhomeguide.org)

